



LUXURY LIFESTYLE...WITHOUT THE LUXURY PRICE TAG



Design Guide

ELINYA ESTATE

DESIGN GUIDELINES – STAGES 1-4

OVERVIEW

Located in Bonnie Brook, in the heart of the flourishing west, the Elinya estate is the place to start your future. Surrounded by parks and waterways, Elinya seeks to create a thriving neighbourhood, with a variety of housing styles to enhance the natural surroundings and create a safe and vibrant community.

DESIGN GUIDELINES

The Design Guidelines have been created to establish a coherent vision for the community, and to ensure all homes are built to a high standard, in line with State and local Council development controls, to promote high-quality design outcomes.

The DRP will assess all house plans against the Design Guidelines. The Design Guidelines are subject to change at any time. The final decision regarding all aspects of the Design Guidelines will be at the discretion of the DRP.

DEVELOPER APPROVAL PROCESS

Approval is required from the Design Review Panel (DRP) for the construction of all new dwellings and garages on any allotment in the Elinya estate.

Plans must be submitted via email to the DRP who will assess all designs and if compliant with the Design Guidelines, provide a letter of approval along with an endorsed copy of the plans and colour schedule. If the design submission is deemed to be non-compliant, advice on how to achieve compliance will be provided to the applicant, who will then be required to submit amended plans in order to gain approval.

The DRP will act to ensure that all proposed works are compliant with the Design Guidelines. The Design Guidelines should be read in conjunction with any applicable covenants or Contract of Sale requirements.

Upon receiving approval from the DRP, the applicant must then obtain building approval from Local Council or an independent Building Surveyor (and/or any other governing authority). It is the responsibility of the applicant to ensure all proposed works meet relevant Authority approvals and the required permits are obtained.

The DRP will endeavor to assess proposals within 10 business days.

SUBMISSION REQUIREMENTS

The following documents must be submitted to the DRP:

1. Site Plan (scale 1 : 200)
2. Floor Plans (minimum scale 1 : 100)
3. Elevations (minimum scale 1 :100)
4. External Colour Selection

Submit all applications to:

approvals@finnis.com.au (PDF format)

For enquiries, please contact the DRP on:
(03) 9699 2133

SETBACKS:

Lots must not be sub-divided. No more than one dwelling shall be constructed on any one lot.

Lots 300m² and above:

Setbacks must comply with any applicable building envelope requirements as set out in the MCP.

The following may encroach a maximum of 1.5m into the front street setback and 1m into the setback on a side street or laneway:

- Façade treatments, balconies, verandahs, open porches, covered walkways and porticos that are less than 3.6m in height.
- Eaves, fascia and gutters.

Garages must be setback at least 5.0m from the front boundary and at least 0.5m behind the front dwelling wall.

Lots less than 300m²:

- In addition to these design guidelines, the Small Lot Housing Code is applicable. Refer to the applicable Plan of Subdivision for Type A or Type B allocation.
- In the case of conflict between the Small Lot Housing Code and these design guidelines, the requirements of the Small Lot Housing Code shall prevail.
- Dwellings on rear loaded lots must be designed to address the Waterway Reserve with pedestrian access (the entry) facing this primary frontage. Garages must be located at the rear to allow vehicle access from the laneway.

DWELLING DESIGN

Dwellings should face the front boundary. On corner lots, the shorter street frontage is the front boundary. Alternatives will be considered based on architectural merit.

Dwellings must comply with the following (excludes porch, verandah, garage, alfresco or similar):

Lot Size:	Minimum Dwelling Size:
Less than 300m ²	100m ²
300m ² – 499m ²	120m ²
500m ² and above	140m ²

Variations to the above may be considered at the discretion of the DRP.

Dwellings with overly similar façade designs and/or colour schemes will not be permitted within 3 lots of each other (excluding townhouses and medium density lots at the discretion of the DRP).



RETAINING WALLS

Retaining walls visible from the public areas must not exceed 1.2m in height and should be constructed from materials which complement the dwelling facade. Stone, rendered block or masonry are encouraged solutions.

ARCHITECTURAL CHARACTER

- Facade designs must reflect a contemporary character. Modern interpretations of traditional styles may be permitted at the discretion of the DRP.

- Front facades must be designed to sufficiently address the street. Details to be considered include:
 - ☐ An entry feature such as a porch
 - ☐ Window configurations and positions
 - ☐ Articulation of the floor plan and roof line
 - ☐ A mix of external materials and finishes
- Large areas of blank or unarticulated areas to the dwelling façade must be avoided.
- In particular, lots facing the Waterway Reserve must ensure a suitable outcome with regard to façade design and street presentation.

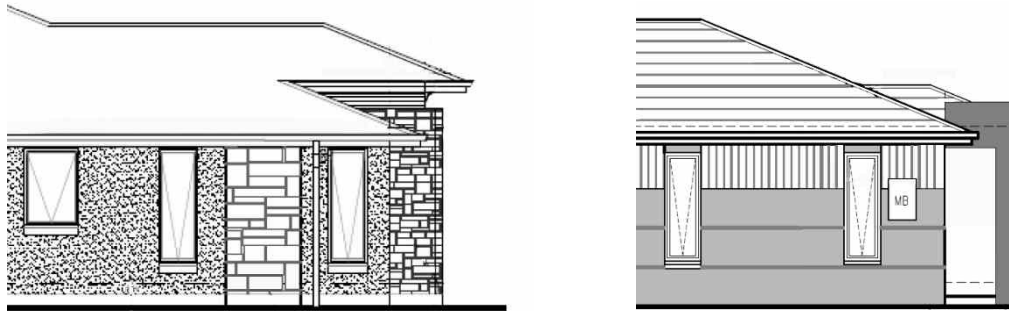
Façade examples:



CORNER LOTS

- Dwellings on corner lots must be designed to address both street frontages by incorporating design features which match and compliment the front façade ('corner treatment').
- No visible blank or unarticulated walls to the secondary elevation, forward of the fencing.
- Factors to be considered include window design, a combination of materials and articulation (such as wall projections, pergolas etc).
- Meter boxes located on secondary elevation must be coloured to match the dwelling.

Examples of acceptable corner treatment:



ROOF DESIGN

- Roofs must be laid with either corrugated Colorbond or roof tiles. Other, non-reflective materials may be considered at the discretion of the DRP on architectural merit.
- Hipped roofs must be pitched at least 22° (minimum 20° for double storey dwellings) and skillion roofs must be at least 10°.
- Pitched roofs must include minimum 450mm eaves to street elevations (front facades and corner facades)
- Eaves to all street elevations and reserves must return and continue a minimum distance of 1.0m along the connecting return wall and/or walls.
- Double storey dwellings must include eaves to the entire first floor.
- Alternatively, the use of parapet walls will be permitted at the discretion of the DRP.

BUILDING COLOURS & MATERIALS

- External walls should be constructed of brick, masonry or lightweight materials. All materials will be assessed on merit by the DRP.
- Front facades must incorporate at least two different materials. One material should not exceed 75% of the front façade (excluding windows & doors).
- Colours must reflect a natural muted colour scheme which complements the dwelling's surroundings. Bright or highlight colours may be considered as an accent feature.

- Reflective glazing or excessive tinting to windows are not permitted.
- Roller shutters are not permitted to primary or secondary facades.
- The use of raw, unpainted or untreated metalwork is not permitted.
- All external services and ancillary items such as rain water tanks, air conditioning units, downpipes and gutters must be coloured to complement the chosen façade colours.

Colour Palette:



GARAGE

- All lots must provide vehicle accommodation in the form of an enclosed garage.
- On lots over 300m², garages must be setback at least 5.0m from the front boundary and at least 0.5m behind the front dwelling wall.
- Garages must not dominate the façade and must have a sectional or panel lift door to the street or laneway frontage (roller doors not permitted).
- Triple garages may be considered by the DRP. The single garage component must be setback at least 500mm behind the double garage.

DRIVEWAYS

- Driveways shall be constructed from coloured concrete, pavers, exposed aggregate or similar. Plain (natural) concrete is not permitted.

- The driveway may match the width of the garage, but must taper as it approaches the front boundary to match the width of the crossover.
- Driveways must be setback at least 300mm from the closest side boundary to allow for a landscaping strip.
- Excessive concreting is not permitted.
- Only one driveway and crossover is permitted per lot.
- Driveways must be constructed prior to occupancy.

Examples of acceptable driveway finishes:

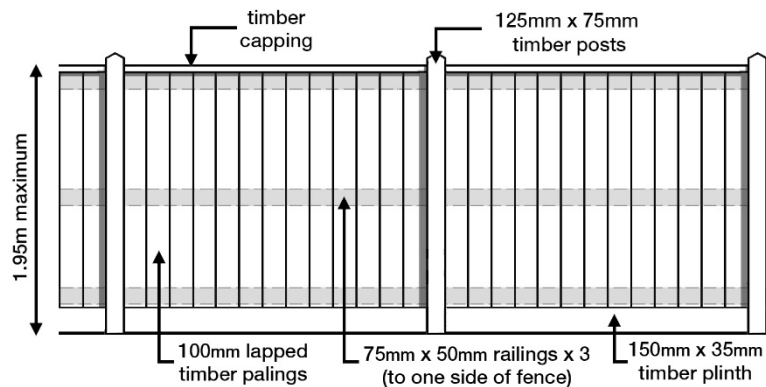


FENCING

Standard Lots:

- Side and rear boundary fencing must be constructed of timber palings with timber capping and exposed posts. To a height of 1.8m – 1.95m (allowing for plinth and capping).
- Side boundary fencing must finish at least 1.0m behind the front façade.
- Side boundary fencing must return to abut the dwelling. These return fencing must be constructed to match the boundary fencing (or in an alternative timber style such as merbau slats).
- Fencing must be constructed prior to occupancy.
- Front fencing is not permitted (with the exception of rear-loaded lots).

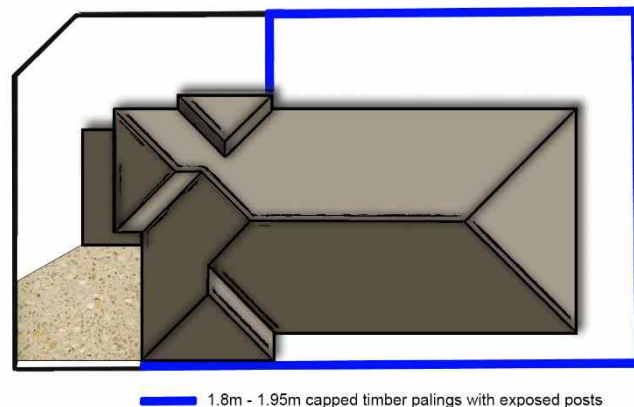
Fencing:



Corner lots:

- Fencing to secondary boundary must stop at least 3.0m behind the closest corner of the front façade, and behind the corner treatment.

Example of fencing layout for corner allotment:



Rear-Loaded Lots:

- Front fencing must be provided on rear loaded lots. Front fencing must be at least 30% transparent (not a solid mass), with a maximum height of 1.2m.
Note: a 1.0m height limit shall apply where applicable for corner lots in accordance with SLHC requirements.
- Front fence design must suit the dwelling in relation to style, materials and colour, with a consistent outcome provided for all lots within the same row.

- Fencing along side boundaries in the front yard must match the front fence height and be constructed from capped timber palings with exposed posts, returning from the front fencing to abut the timber side boundary fencing.

SERVICES & ANCILLARY ITEMS

For lots 300m² and above, a minimum 2000L water tank is required (connected for toilet, laundry and garden use).

Unightly services and ancillary items must be located to minimise visibility from the street and neighbouring properties and shall be of an appropriate size, colour and finish. This includes but is not limited to the following:

- ☐ Evaporative cooling units
 - ☐ Split system heating/cooling units
 - ☐ Antennae/aerials
 - ☐ Satellite dishes
 - ☐ Water tanks
 - ☐ Clothes lines
 - ☐ Rubbish bins
 - ☐ Electricity & gas meters
 - ☐ Hot water units
 - ☐ Solar/PV panels
- Note: solar/PV panels are not permitted on the front elevation. Corner lots may install panels facing the side street where required for solar efficiency.

FRONT LANDSCAPING

Front landscaping should be densely planted and contain at least one canopy tree.

Impermeable hard surface materials must not exceed 40% of the front garden area (including driveway and front path)

A minimum area of 60% must be softscape materials, such as plants, lawn, ground cover or trees.

Letterbox must match the style of the dwelling and be constructed from materials such as brick, render and timber.

Examples of acceptable letterboxes:



Welcome to... **Elinya**