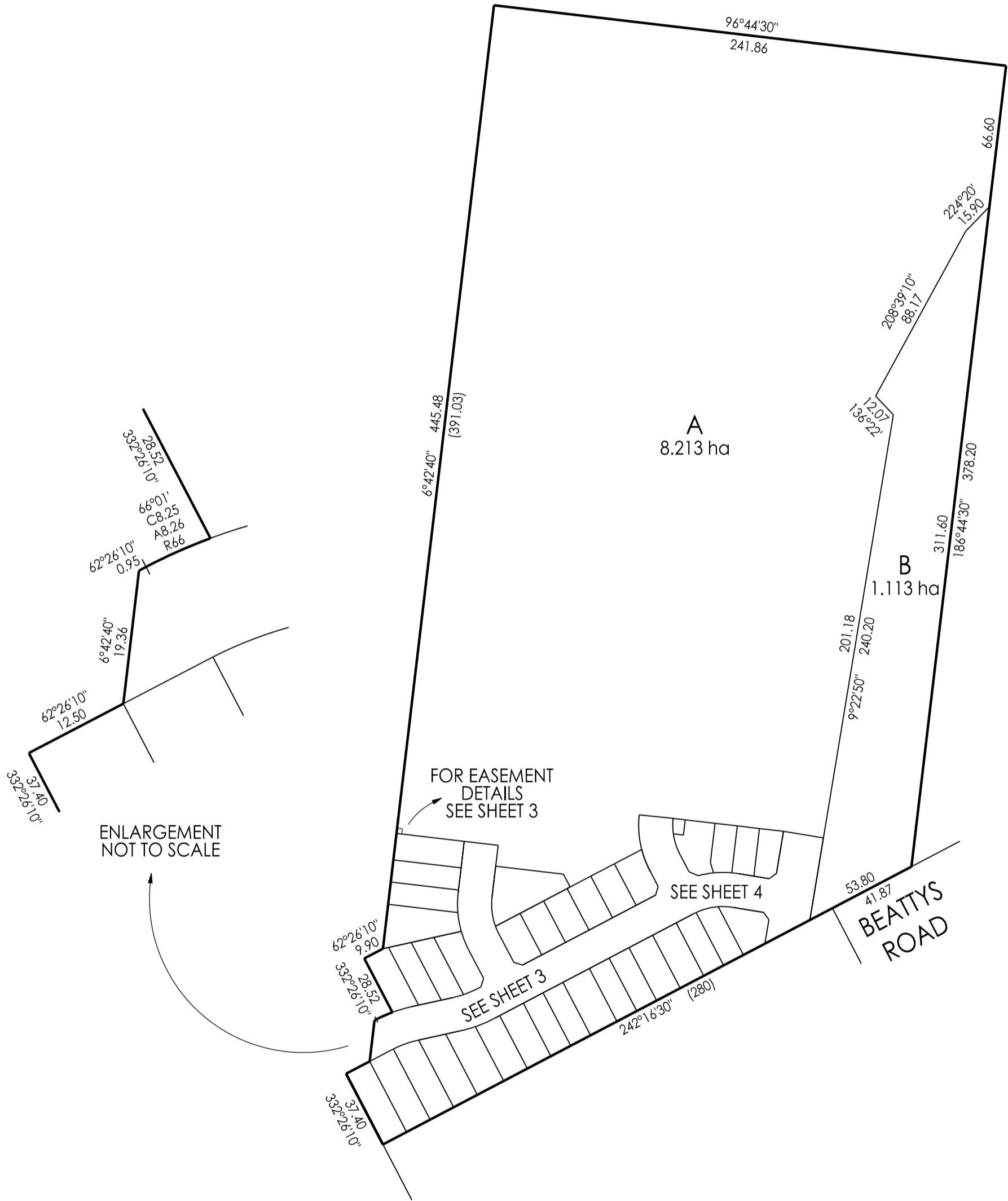
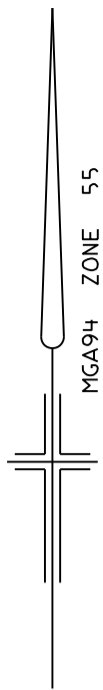


PLAN OF SUBDIVISION		LRS USE ONLY EDITION	PLAN NUMBER PS 844117V	
LOCATION OF LAND PARISH: KOROROIT TOWNSHIP: --- SECTION: 18 CROWN ALLOTMENT: 14 (PART) & 15 (PART) CROWN PORTION: --- TITLE REFERENCES: VOL. 12324 FOL. 323 LAST PLAN REFERENCE: LOT B ON PS842433V POSTAL ADDRESS: BEATTYS ROAD (at time of subdivision) BONNIE BROOK 3335 MGA 94 CO-ORDINATES: E: 295 840 ZONE: 55 (of approx. centre of plan) N: 5 823 960 DATUM: GDA94		COUNCIL NAME: MELTON CITY COUNCIL		
VESTING OF ROADS OR RESERVES		NOTATIONS		
IDENTIFIER	COUNCIL/BODY/PERSON	TANGENT POINTS ARE SHOWN THUS: LOTS 1 TO 100 (BOTH INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN TOTAL ROAD AREA: 5754m²		
ROAD R1 RESERVE No. 1	MELTON CITY COUNCIL POWERCOR AUSTRALIA LTD			
NOTATIONS				
DEPTH LIMITATION DOES NOT APPLY				
SURVEY: THIS PLAN IS BASED ON SURVEY THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARKS No(s). LAND NOT IN PROCLAIMED SURVEY AREA No. STAGING THIS IS NOT A STAGED SUBDIVISION PLANNING PERMIT No. PA2018/6078/2				
ESTATE: ELINYA 1		AREA: 1.821 ha	No. OF LOTS: 36	MELWAY: 355:E:3
EASEMENT INFORMATION				
LEGEND: A - APPURTENANT E - ENCUMBERING EASEMENT R - ENCUMBERING EASEMENT (ROAD)				
EASEMENT REFERENCE	PURPOSE	WIDTH (METRES)	ORIGIN	LAND BENEFITED OR IN FAVOUR OF
(E-1)	SEWERAGE	SEE PLAN	THIS PLAN	CITY WEST WATER CORPORATION
(E-2)	DRAINAGE	SEE PLAN	THIS PLAN	MELTON CITY COUNCIL
(E-2)	SEWERAGE	SEE PLAN	THIS PLAN	CITY WEST WATER CORPORATION
Breese Pitt Dixon Pty Ltd 1/19 Cato Street Hawthorn East Vic 3123 Ph: 8823 2300 Fax: 8823 2310 www.bpd.com.au info@bpd.com.au		REF: 9980/1 VERSION: 8 LICENSED SURVEYOR: SIMON COX		ORIGINAL SHEET SIZE A3 SHEET 1 OF 5 SHEETS
CHECKED TT	DATE: 12/11/21			

PLAN OF SUBDIVISION

PLAN NUMBER

PS 844117V



ENLARGEMENT
NOT TO SCALE

FOR EASEMENT
DETAILS
SEE SHEET 3

SEE SHEET 4

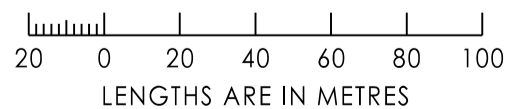
SEE SHEET 3

53.80
41.87
**BEATTYS
ROAD**



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SCALE
1:2000



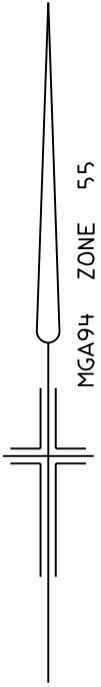
ORIGINAL
SHEET SIZE A3
REF: 9980/1

SHEET 2
VERSION: 8

LICENSED SURVEYOR: SIMON COX

PLAN OF SUBDIVISION

PLAN NUMBER
PS 844117V



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SCALE

1:500



ORIGINAL SHEET SIZE A3

SHEET 3

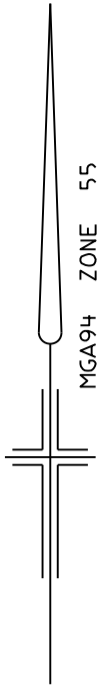
REF: 9980/1

VERSION: 8

LICENSED SURVEYOR: SIMON COX

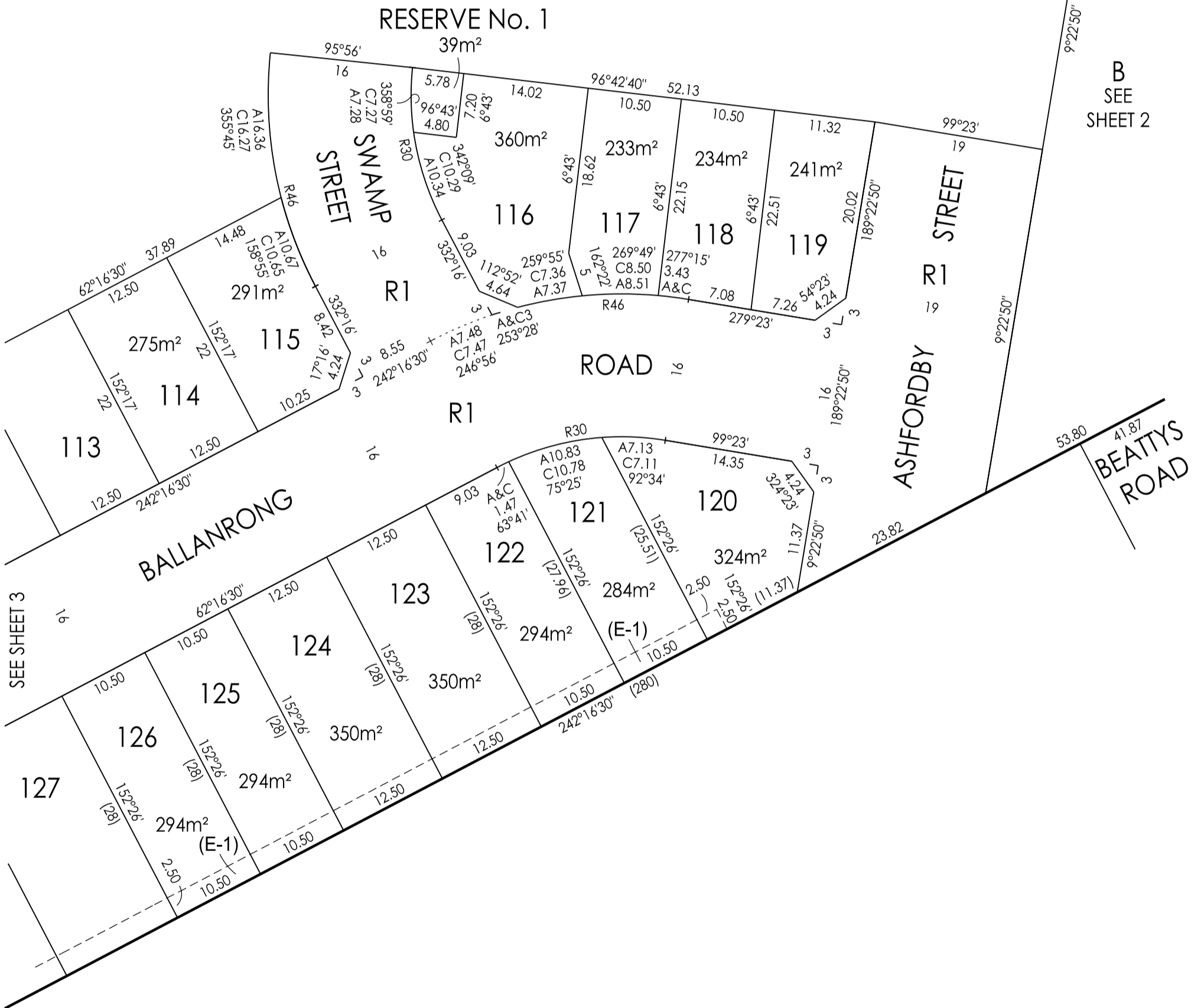
PLAN OF SUBDIVISION

PLAN NUMBER
PS 844117V



A
SEE SHEET 2

B
SEE SHEET 2

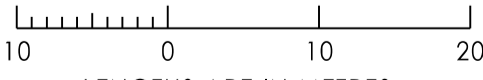


SEE SHEET 3



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SCALE
1:500



LENGTHS ARE IN METRES

LICENSED SURVEYOR: SIMON COX

ORIGINAL SHEET SIZE A3	SHEET 4
REF: 9980/1	VERSION: 8

SUBDIVISION ACT 1988
CREATION OF RESTRICTION

Upon registration of the plan, the following restriction is to be created.

For the purposes of this restriction:

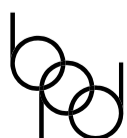
Land to benefit : Lots 101 to 136 (both inclusive).
Land to burdened: Lots 101 to 136 (both inclusive).

Description of Restriction :

- (1) The registered proprietor or proprietors for the time being of any lot forming part of the land to be burdened must not, without the permission of the Responsible Authority, construct or permit to be constructed:
 - (a) In the case of lots less than 300m² any dwelling unless in accordance with the small lot housing code or unless a specific planning permit for the said dwelling has been obtained from Melton City Council. For the purpose of this restriction the following applies:
Type A- Lots 110 to 115 (both inclusive), 117, 118, 119, 121, 122, 125, 126, 128 and 129.
Type B- Nil.
 - (b) In the case of lots 300m² or over, any dwelling other than in accordance with MCP No.
- (2) The registered proprietor or proprietors for the time being of any lot forming part of the land to be burdened must not build or permit to be built or remain on the lot or any part of it;

Any building on a lot unless the plans for such a building are endorsed as being in accordance with the "Elinya Design Guidelines" prior to the issue of a building permit. The requirement for such endorsement shall cease to have effect on the lot after an occupancy permit under The Building Act 1993 is issued for the whole of the dwelling on the said lot.

These restrictions will cease to affect any of the burdened lots one year after all the burdened lots are issued with a Occupancy Certificate under the Building Act 1993 or any instrument replacing it.



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SCALE

ORIGINAL
SHEET SIZE A3

SHEET 5

REF: 9980/1

VERSION: 8

LICENSED SURVEYOR: SIMON COX